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ORDINANCE NO. 3760

AN ORDINANCE OF THE CITY OF EDMONDS, WASHINGTON, AMENDING THE EDMONDS COMMUNITY DEVELOPMENT CODE TO ADD A NEW CHAPTER 16.100 FIRDALE VILLAGE MIXED-USE ZONING CRITERIA, A NEW CHAPTER 22.100 FIRDALE VILLAGE SITE DESIGN STANDARDS, AND FIXING A TIME WHEN THE SAME SHALL BECOME EFFECTIVE.

WHEREAS, this matter came to the City Council on the application of A.D. Shapiro Architects, AMD-2008-10, with the recommendation of its Planning Board, and

WHEREAS, public hearings were held before the City Council on July 21 and October 6, 2009, and

WHEREAS, the proposal originally included a commitment to preserve a stand of native growth trees along the northern boundary of the site for which the zone was created as it abuts adjacent residentially zoned property, and

WHEREAS, due to concerns regarding the ability of the City to impose such requirements under existing Washington case law, a twenty-foot setback has been substituted based upon the commitment of the applicant to bring back a development agreement confirming the dedication of a native growth protection easement in conjunction with a future application for a site specific rezone of the site for which this zone has been created, and

WHEREAS, the City Council deems the proposal to be in the public interest based in part upon the representations of the applicant that a development agreement will be forthcoming, and

WHEREAS, the City Council reserves the right to repeal this zone if a site specific rezone is not instituted within a reasonable time in conjunction with a development agreement to preserve the stand of native growth trees, NOW, THEREFORE,

THE CITY COUNCIL OF THE CITY OF EDMONDS, WASHINGTON, DO
ORDAIN AS FOLLOWS:

Section 1. The Edmonds Community Development Code is hereby amended by the addition of a new chapter 16.100 Firdale Village Mixed Use Zoning Criteria to read as follows:

**Firdale Village
Mixed Use Zoning Criteria
September 30, 2009**

16.100.000	Introduction
16.100.010	Purposes
16.100.020	Sub-Districts
16.100.030	Uses
16.100.040	Site Development Standards

16.100.000 Introduction

General Intent and Project Vision

The design vision for Firdale Village is to create a vibrant neighborhood village form of development that strikes a balance between commercial, retail and residential uses and contributes to the vitality of the neighborhood and area. The project is intended to support a variety of commercial and retail uses along with multi-family residential in an environment that is accessible to the pedestrian, visitor, tenant, motorist and public transit user.

16.100.010 Purposes

The Firdale Village Mixed-Use zone has the following specific purposes in addition to the general purposes for business and commercial zones in Chapter 16.40 ECDC.

- A. To reserve and regulate areas for a 'neighborhood center'

type of mixed-use development that includes a mix of commercial and multi-residential housing types, and a range of greater densities than are available in the single family residential zone;

B. To promote a mix of residential, commercial and other uses in a manner that is consistent with the City’s comprehensive plan, (i.e.: 25% of heated floor area shall be “commercial” space).

C. To provide for those additional uses which complement and are compatible with multiple residential uses.

D. The Codes contained within this Chapter are to be used in conjunction with the Firdale Village Design Standards in Chapter 22.100.000 ECDC.

16.100.020 Sub-Districts

See Figure B for location of Districts on the site.

A. District 1 – Commercial: The primarily commercial uses will be located in this district, which is located closer to Firdale Avenue and oriented to the street. The flexibility for each is written into the table, but not called out in the “mini-description”.

B. District 2 – Commercial/Multi-Family Residential: Multi-family residential uses will be located more towards sides and rear of the site, behind the commercial uses, with possible commercial functions on the ground level.

16.100.030 Uses

A. Table 16.100.030-1

Permitted Uses	Dist 1 Com- mercial	Dist 2 Multi- Family
Residential Uses		
Single-family dwelling	X	X
Multiple dwelling unit(s)	X	A
Housing for low-income elderly and senior housing	X	A

Commercial Uses		
Retail stores or sales	A	A
Offices, (2 nd floor or higher than retail space in the same building)	A	A
Service uses including professional service offices, health clinics	A	A
Retail uses include grocery stores, pharmacy/ drug stores and bookstores.	A	E
Retail sales requiring intensive outdoor display or storage areas, such as trailer sales, used car lots (except as part of a new car sales and service dealer), and heavy equipment storage, sales or services	X	X
Restaurants (excluding drive-through)	A	A
	Dist 1 Com	Dist 2 MF
Pubs, taverns or bars	A	X
Enclosed fabrication or assembly areas associated with and on the same property as an art studio, art gallery, shoe repair, restaurant or food service establishment that also provides an on-site retail outlet open to the public	A	E
Automobile sales and service	X	X
Dry cleaning and laundry plants which use only nonflammable and non-explosive cleaning agents	C	E
Printing, publishing and binding establishments	C	C

Community-oriented open air markets conducted as an outdoor operation and licensed pursuant to provisions in the Edmonds City Code	A	A
Bus stop shelters	A	X
Churches, subject to the requirements of ECDC 17.100.020	A	E
Local public facilities subject to the requirements of ECDC 17.100.050	C	C
Off-street parking and loading areas to serve a permitted use	B	B
Commuter parking lots in conjunction with a facility otherwise permitted in this zone	B	B
Commercial parking lots	A	C
Wholesale uses	X	X
Hotels and motels	A	A
Amusement establishments	C	X
Auction businesses, excluding vehicle or livestock auctions	X	X
Drive-in businesses	X	X
Laboratories	X	X
Fabrication of light industrial products not otherwise listed as a permitted use	X	X
Day-care centers	C	C
Museums and art galleries of primarily local concern that do not meet the criteria	A	E

for regional public facilities as defined in ECDC 21.85.033		
	Dist 1 Com	Dist 2 MJ
Retail stores larger than 12,000 GSF	X	X
Residential treatment facilities for alcoholics and drug abusers	X	X
Light Industrial	X	X
Outdoor storage, incidental to a permitted use	D	D

- A = Permitted primary use
 B = Permitted secondary use
 C = Primary uses requiring a conditional use permit
 D = Secondary uses requiring a conditional use permit
 E = Permitted primary use on ground level floor only
 X = Not permitted

16.100.040 Site Development Standards

A. Development Standards – General

Development Requirements can be summarized as follows: A minimum of 25% of the heated space of the overall development shall be in commercial and/or retail space usage. See District Map figure B

B. Building Scale and Building Height

1. Intent: In order to provide a consistency of architectural scale for different sections of the development:

The more commercial/retail area closer to Firdale Avenue shall be lower in scale than the multi-family buildings oriented to the rear of the site.

Building Height:

a. District 1: Commercial/Office/Retail:

One (1) – three (3) stories, (lowest floor to be 12' flr. to flr. min.), Minimum height: 20 feet; Maximum height 39 feet. Commercial and Office are not permitted on the ground level floor of the building.

b. District 2: Multi-family Residential:

Maximum -- 39 feet provided that an additional story may be permitted to a maximum height of 48 feet in accordance with subparagraph b.(1) below. Maximum height: 48 feet base height, for four stories, with possibility of an additional 4 feet, (to allow for variation in rooflines, for a maximum bldg. height of 52'. Elev. Shaft enclosures can exceed this height only to meet bldg code. Guard railings required by and compliant with the State Building Code on roof decks can exceed the maximum roof height. – See subparagraph b(2) below)

(1) A fourth story to a maximum height of 48 feet may be allowed in District 2, for multi-family uses, if the project integrates green design methods and technologies throughout the project. The project must achieve at least a 4-star level of the Built Green of Washington program or a LEED gold certification, or equivalent. See also ECDC Design Standards 22.100.090.

(2) Building height may extend four feet above the maximum 39 or 48 foot height limit as applicable if all portions of the building above the stated height are modulated in design, or are designed as a hip, gable, arch, shed or other similar forms. Vertical parapet walls are not allowed to protrude above the 39 or 48 foot height limit unless they are part of an approved modulated design. For examples of permissible forms, see figures C1, C2, C3, C3, and C4.

(3) Ground floor residential in District 2 shall be higher than the public sidewalk/way by a minimum of 3', or accessed through a residential courtyard to segregate it from the public way.

3. Elevator shaft and/or /Stairway penthouse shafts may extend above the maximum building height by 5 feet, when compliant with building code criteria.

4. Mechanical equipment may extend above this base building height a maximum of five feet (5').

C. Parking Standards

1. Minimum Spaces Required

a. Commercial including office, retail and restaurant uses: Minimum: Provide one space for every 400 SF. Twenty five percent (25%), of parking places designated for office space must also be shared with multi-family residential uses, and shall be easily accessible to multi-family residential units.

b. Multi-Family Uses: Minimum: Provide 1.5 spaces per unit. Additional parking for residential units shall be provided in a shared parking area for office/commercial and residential.

c. For Guest parking, provide 1 space for every ten (10) units or 0.10 spaces for every unit as a minimum.

2. For shared parking arrangements, a binding covenant in readable format describing terms of the shared parking arrangement shall be required between the property management companies/owners of the residential and commercial uses describing the joint use of the parking areas, and shall be approved as to form by the City Attorney.

D. Site Setbacks

See Diagram 16.100.040 D-1 below for illustration of setbacks, buffers and related notes.

Setback distances refer to areas above ground.

Underground structures can be within the setback area as long so long as adequate soil depth is provided to support the existence of trees and vegetation, provided however, that no below ground structure may extend into or under the 20' setback at the north property line.

1. Minimum side setbacks are 15 feet.

2. The minimum setback on the northern boundary of the site is 20 feet. The required setback shall be landscaped and designed to provide a buffer to adjoining R-zoned property.

3. Where the proposed development abuts a single-family residential (RS) zoned property, the proposed development shall also modulate the design of any building facades facing the single-family residentially (RS) zoned property. See Design Standards

for additional information.

4. SW Corner Setbacks: District 1 shall extend to street property line with no setback, and setback from the west property line by 15'. District 2 shall be setback on a per floor basis, with the second floor setback from the street property line by 30', and west property line by 35'. Third floor setback shall be 55' from the street property line and 35' from the west property line. All floors shall be revert to minimum setback from the west property line of 15' when 80' from the street property line and greater.

E. Open Space

1. Design Intent: The project shall include a comprehensive open space network that uses courtyard(s) and other open space elements to connect the residential and commercial uses.

2. Open Space Requirements:

Minimum open space requirement for the development: Shall be 20% of the overall site area. The minimum open space requirement may include setback areas, all developed pedestrian areas including landscaped walkways, plazas, courtyards and other passive open spaces in the commercial area. The calculation may also include public open space for the residential uses. The calculation shall not include parking areas, driveways, or service areas.

F. Design Standards

For more descriptive information on Design Standards and guidelines, please see ECDC Chapter 22.100.

Section 2. The Edmonds Community Development Code is amended to incorporate a new Chapter 22.100 Firdale Village Site Design Standards in the form and with the illustrations shown on the attached Exhibit A, incorporated by this reference as fully as if herein set forth.

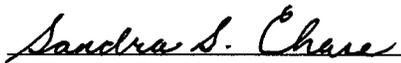
Section 3. Effective Date. This ordinance, being an exercise of a power specifically delegated to the City legislative body, is not subject to referendum, and shall take effect five (5) days after passage and publication of an approved summary thereof consisting of the

title.

APPROVED:


MAYOR GARY HAAKENSON

ATTEST/AUTHENTICATED:


CITY CLERK, SANDRA S. CHASE

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY:

BY 
W. SCOTT SNYDER

FILED WITH THE CITY CLERK:	10/23/2009
PASSED BY THE CITY COUNCIL:	10/27/2009
PUBLISHED:	11/03/2009
EFFECTIVE DATE:	11/08/2009
ORDINANCE NO. <u>3760</u>	

SUMMARY OF ORDINANCE NO. 3760

of the City of Edmonds, Washington

On the 27th day of October, 2009, the City Council of the City of Edmonds, passed Ordinance No. 3760. A summary of the content of said ordinance, consisting of the title, provides as follows:

AN ORDINANCE OF THE CITY OF EDMONDS, WASHINGTON, AMENDING THE EDMONDS COMMUNITY DEVELOPMENT CODE TO ADD A NEW CHAPTER 16.100 FIRDALE VILLAGE MIXED USE ZONING CRITERIA, A NEW CHAPTER 22.100 FIRDALE VILLAGE SITE DESIGN STANDARDS, AND FIXING A TIME WHEN THE SAME SHALL BECOME EFFECTIVE.

The full text of this Ordinance will be mailed upon request.

DATED this 28th day of October, 2009.



CITY CLERK, SANDRA S. CHASE

Exhibit A

Firdale Village Site Design Standards

Index

22.100.000	<i>Applicability and Goals</i>
22.100.010	<i>Site Design and Planning</i>
22.100.020	<i>Architectural Design</i>
22.100.030	<i>Pedestrian Orientation, Outdoor Spaces & Amenities</i>
22.100.040	<i>Vehicular Access and Parking</i>
22.100.050	<i>Site Landscaping & Screening Elements</i>
22.100.060	<i>Signage</i>
22.100.070	<i>Site Lighting</i>
22.100.080	<i>Safety Issues</i>
22.100.090	<i>Sustainable Design</i>



Aerial view of existing Firdale Village site.

22.100.000 *Applicability and Goals*

A. *Applicability*

The design standards in this chapter apply to all development within the Firdale Village MU zone, including the sub-districts contained within the larger zone.

The Design Standards use imperative language such as “shall” and “must” to indicate high priority features and a strong directive toward satisfying the ‘Standards’ intent. Words such as “should” and “may” indicate desirable conditions or elements that are strongly encouraged.

B. *Goals and Intent*

The Design Standards will help to shape a neighborhood village form of development, a place of complementary uses within an aesthetically attractive, easily accessible and economically healthy environment. The guidelines and standards will be used to create an attractive, inviting environment for residential and commercial uses, with an emphasis on the needs of the pedestrian, including the needs of senior citizens, youths and physically challenged persons, but that is also accessible for vehicles.

Development shall be located to facilitate transit and non-motorized travel modes. On-site facilities that are convenient and attractive to pedestrians, bicyclists and vehicles are encouraged. The development will be designed to include the following uses, and will also evolve and change over time:

Retail shops and stores, professional offices, restaurants, services, multi-residential and community related outdoor areas and facilities.

C. *Project Vision*

1. *Scale and Form* -- The vision for Firdale Village is the creation of a vibrant neighborhood village development that demonstrates a balance between commercial, retail and residential uses and contributes to the vitality of the neighborhood and area. The project is intended to create an environment that is accessible and inviting to the pedestrian, visitor, tenant, motorist and public transit user. The project can also be an important example of a more sustainable form of development, one that incorporates sustainable design strategies and methods in many aspects of the project, from site design, construction to long term water and energy efficiency. New development shall include pedestrian amenities that bring residents and customers to the development, including local shopping, services, offices, specialty retail, restaurants, and other related uses. Outdoor spaces shall function as social settings for a variety of experiences, while maintaining a human scale and ability for easy pedestrian circulation.

22.100.010 *Site Design and Planning*

A. Intent

1. The project design shall respond to special opportunities and constraints of the site, including solar orientation, changes in topography, preservation of existing trees as buffer, and opportunities for low impact site design.

2. The project design shall take advantage of the southern solar orientation for multi-family residential orientation and outdoor courtyards as well as designing adequate usable open space and landscaped areas in both private residential and commercial sub-districts. The project should also respond to other local climatic and ecological context by incorporating the site's natural systems including significant trees, hydrology and geology into design solutions.

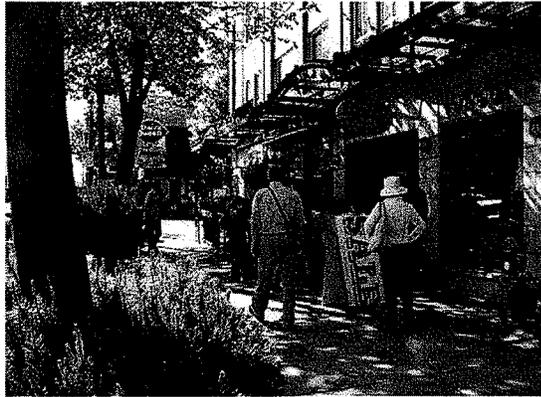
3. In general, the designer shall consider the site design as a whole in helping to create an inviting environment for residents, tenants and visitors. In order to clarify possibilities for sustainable design, goals for sustainability and green technologies shall be set in the initial stages of project design.

B. Site Features

1. Pedestrian Orientation.

The project shall include a pedestrian orientation with public amenities, such as buildings with ground floor orientation to the streetscape and public spaces, pedestrian walkways, street trees, attractive landscaping, outdoor areas with seating and other amenities, and places for gathering. Additional amenities in public spaces such as fountains, sculpture or other forms of art are highly encouraged. (See Pedestrian Orientation section for more description).

The use of materials, color, texture, form and massing, proportion, public amenities, landscaping and vegetation along with mitigation of environmental impacts, shall be incorporated in the design of the project with the purpose of supporting a human scale, pedestrian-oriented development.



Large storefront windows, overhead metal canopy, lush landscaping and attention to detail help to create a strong pedestrian orientation.

2. *Tree Retention* -- The project site plan shall retain the existing stand of evergreen trees at the north end of the site, to help serve as a buffer between the new buildings and the residential parcels bordering the project.

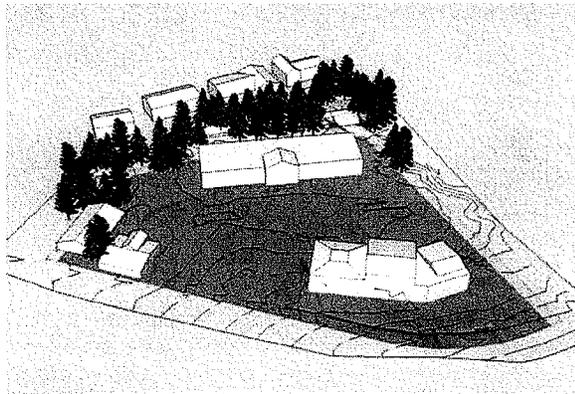


Illustration depicting existing large trees on the site that act as buffer on north boundary of the site.

C. *Open Space – Design Intent:*

The project shall include a comprehensive open space network that uses courtyards and other open space elements to connect the residential and commercial uses.

1. The design and layout of required plazas, courtyards and other public gathering spaces shall contribute to the overall sense of place and help attract pedestrian users to the development.

The project shall be designed in such a way to allow some views into the public plazas and open space from Firdale Avenue, to help create an inviting and welcoming ambiance from outside the development. It is important to achieve a balance between creating inviting, usable public spaces and buffering noise and

other traffic issues from Firdale Avenue. A more transparent configuration, that allows views from the street into the development, will also help create an inviting ambiance and make visible the pedestrian friendly character of the development

2. *Open Space Requirements:*

Minimum open space requirement for the development: 20% of total site area. The minimum open space requirement may include all developed pedestrian areas including landscaped walkways, existing setback landscaping, plazas, courtyards and other passive open spaces in the commercial area. The calculation may also include open space for the residential uses. The calculation shall not include parking areas, driveways, or service areas.

3.. *Residential Open Space:*

Residential Development shall include private open space or outdoor areas for residents. These areas shall be configured and designed so as to ensure privacy for residential uses while also providing linkages to the public open space components of the project. Seating areas shall be provided as an important part of the usable open spaces, and coordinated with landscaping, shaded areas, lighting and orientation to focal points.

22.100.020 *Architectural Design*

A. *Design Intent*

To create a unified design concept for the project that reflects the neighborhood village form of development, while allowing for some individual expression of each building. The massing, layout and individual design of each building shall be compatible with the architectural design of its on site neighboring buildings, yet complement the neighborhood village character. In general, all aspects of the project, from landscaped open spaces to project signage should be well-designed and coordinated with the project as a whole.

1. *Scale.*

The designers shall consider how the structure and site development will be viewed from the street and adjacent properties. Scale is not simply the size of the buildings, it is the proportion of buildings in relationship to each other, to the street and to the pedestrian environment. Because of the bowl-like topography, the larger scale buildings will be toward the side and rear of the site, with lower scale commercial buildings toward Firdale Avenue.

2. *Form and Style.*

The objectives and standards do not set a particular style of architecture or design theme. The style and site design shall be pedestrian in scale and address design features such as distinctive building shapes; incorporation of a number of design elements on building facades, with particular focus on ground floor, integration of art; interesting textures and patterns; treatment of public spaces; landscaping; and signage.

Building forms shall not present visual mass or bulk impacts that are out of proportion to the adjoining structures, or that appear from the street or sidewalk as having unmodulated visual mass or bulk. Building additions should complement the original structure in design



Mixed-use development with variation in scale and height. Variety of retail facades, along with interesting storefronts creates visual interest at the ground level.

B. *Architectural Character*

1. Building Siting and Orientation

- a. Where feasible, primary commercial buildings shall be oriented to the street frontage to enliven the street edge as well as to maximize access from the public sidewalk. Because not all of the commercial space will be oriented towards Firdale Avenue, primary entrances may also be oriented to side streets or towards a rear courtyard as the site design warrants.
- b. All visible building frontages and ground floor commercial spaces shall be detailed with architectural elements.
(See Building Facades, below).
- c. Commercial uses are located towards the front of the site, with orientation towards Firdale Avenue. Residential uses are located towards the rear of the site to allow for greater privacy and buffering from street noise and activity.

2. *Building Articulation*

- a. In order to prevent long stretches of monotonous facades, buildings over 100 feet in length as measured parallel to a roadway or public open space shall be vertically articulated along the façade at regular intervals.
- b. Articulation may be accomplished in several ways, including: Modulation – the stepping back or projection of a portion of the façade, including significant building elements such as balconies, porches, canopies, entry areas, etc. that visually break up the façade. Articulation can also be accomplished through adding

building focal points which include distinctive entry features, changing the roofline and changing materials.



Mixed-Use Building with modulation of façade along with emphasis on development of ground floor retail uses.

3. *Building Facades*

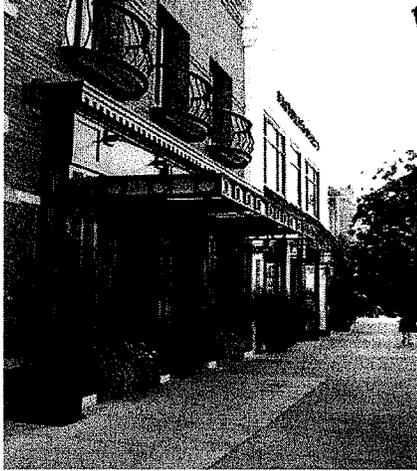
a. *Objectives.*

Building facades should be designed with a variety of architectural elements that suggest the buildings' use and provide visual interest to residents and pedestrians. Special focus shall be given to mass, scale roof forms and landscaping, with special attention to the ground floor of retail and commercial buildings.

b. *Street-facing and major Façade Elements:*

All major mixed-use, commercial and/or retail buildings within the development shall include decorative light fixtures, and decorative paving, and at least five (5) of the following elements on the major facades, with at least five (5) elements on the ground floor.

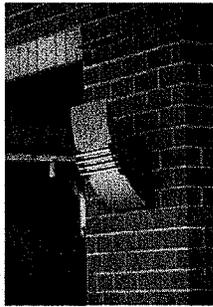
- (1) Window and doors treatments which embellish the façade.
- (2) Unique façade treatment, such as decorative materials and design elements.
- (3) Recessed entrances.
- (4) Balconies.
- (5) Railings, grill work, gates
- (6) Unique landscaping.
- (7) Belt courses.
- (8) Decorative tile work.
- (9) Projecting metal and glass canopy
- (10) Clearstories over storefront windows.



Building façade with emphasis on development of ground floor – with attention to building entry and other attractive façade detail including iron grill balconies above.



Mixed-use building with large scale storefront windows helps to maximize transparency at ground level. Metal canopy, use of durable materials and lighting adds to visual interest.



Use of high quality materials and decorative building details including exterior lighting and grill work add interest.



Retail façade with emphasis on the ground floor and entry. Architectural detail includes large windows in storefront, large glass entry door, recessed entry, arched windows above, contrasting stone outlining entry, structural canopy above entry, large sign integrated into building façade, hanging blade sign to the left, and landscaped planters in front.

c. Walls

Blank walls without visual or architectural interest shall be avoided. Buildings shall provide massing breaks along wall expanses and walls shall include visual or architectural treatments. Walls facing the sidewalk or other pedestrian spaces should be treated with recesses, landscaping, windows, seating, recessed secondary entrances, balconies, belt courses, cornices, and other means of breaking up the blank wall surface.

d. Ground Floor Windows and Doors

Major commercial buildings should have at least 75 percent of the length of the ground floor façade between the height of two feet and seven feet devoted to windows and doors affording views into retail, office or lobby space.

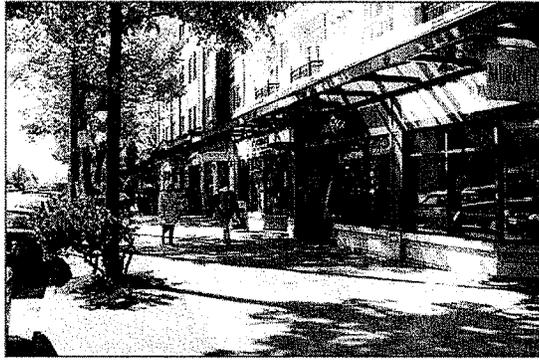


e. Transparent Facades

Major commercial building facades shall have a high degree of transparency into the first floor offices/retail to help create a more inviting ambiance. See section d. above on Ground Floor Windows and Doors.



Storefront design with a high degree of transparency from walkway or sidewalk.



Building with large storefront windows, overhead canopy and large street trees

f. Upper Story Facades

Upper stories of buildings above two stories should maintain an expression line along the façade such as a setback, change of material, or a projection to reduce the perceived building mass. Upper-story features shall include but are not limited to balconies, roof decks, or bay windows.

g. Long Buildings

Long buildings, more than 50 feet in length, shall provide relief to perceived building mass through such features as varied setback or heights, or projecting windows, entrances or walls. Long linear walls should be staggered horizontally and vertically to provide interest.

h. Entrances

Building entrances should concentrate along the sidewalk and should be physically and visually inviting. Entrance doors should be recessed from the façade surface to emphasize the entrance and provide a sheltered transition to the interior of the building. Special paving treatments may be used to enhance the entry.

i. Pedestrian walkways

Pedestrian walkways should be a minimum of eight (8) feet wide, and be landscaped appropriately. Wheelchair ramps shall be constructed between the sidewalk and building entrances.

j. Building Facades Oriented towards Residential Areas.

Building facades facing north towards the single family residential areas shall be designed to include elements to create an interesting architectural expression as opposed to blank walls. Elements shall include those associated with multi-family residences such as balconies, roof decks, or bay windows, along with modulation of building facades. .

4. *Materials and Color*

a. *Objectives:*

The buildings should include textured high quality materials and colors and provide a visually interesting experience. Color shall be carefully considered in relation to the overall project design. Color and materials should highlight architectural elements such as doors, windows, fascias, cornices, lintels, sills and pedestrian amenities.

b. *Development and Design Standards:*

Building Exteriors: shall be constructed from high quality and durable materials, that will require minimal maintenance.

Color: A harmonious range of colors shall be used on all buildings. Bright colors shall be used only for trim and accents.

22.100.030 *Pedestrian Orientation, Outdoor Spaces & Amenities*

A. *Design Intent:*

The project should incorporate a network of well designed, attractive pedestrian spaces throughout the project. The commercial area will feature various sizes of public spaces, completed with outdoor furnishings and amenities to help create a safe, inviting environment for visitors and residents.

B. *Pedestrian Connections*

1. Attractive well-marked pedestrian links between parking and buildings shall be provided. The connections shall be designed to enhance pedestrian safety through clearly marked walkways across traffic lanes, landscaped areas and parking lots.

2. Where walkways cross driveways and traffic lanes, special features shall be used to increase safety for pedestrians. Potential features include raised or textured pavement to define the pedestrian space, raised curbs, curb extensions or low-level lighting such as bollard lights.

3. Pedestrian connections shall be provided between buildings with special focus on connections between residential and commercial areas.

4. Pedestrian connections shall include design cues to help demarcate the transition between public and private spaces. Design cues may include a change in materials, colors, landscaping or the dimensions of the space.

5. Illumination of walkways shall be concentrated along the pedestrian paths leading to parking areas and in the specific areas where cars are parked.

6. Walkways shall be landscaped where feasible.

7. The project shall include at least one pedestrian pathway through the parking area(s) to the main entrance from the street.

C. *Pedestrian Amenities -- Commercial and public areas:*

1. Pedestrian amenities such as street trees, landscaping, and seasonal flowers, benches, lighting, banners and possibly artwork shall be provided to

create interest along walkways, courtyards and other pedestrian oriented spaces.



Amenities including street trees, planted areas, canopies, wide sidewalks and street furniture emphasize the pedestrian orientation of the project.

2. All public open spaces, walkways, and sidewalks shall meet ADA standards.
3. The addition of texture to the ground plane of sidewalks and plazas with unit pavers, bricks, tiles or public artwork is strongly encouraged.
4. Safe public walkways around and through parking areas shall be provided as an important part of the site layout and design. (See B1-6 above).
5. Awnings, arcades, pergolas, and/or overhangs shall be provided to protect pedestrians from inclement weather whenever possible.
6. Pedestrian amenities and detailing of site furniture, lighting, paving, and site amenities shall be consistent throughout the development to help create a recognizable identity and image.
7. Separate areas should be provided for active and passive activities.
8. Residential buildings shall provide an easily accessible gathering space for building occupants and their guests. Examples include an upper level or roof-top patio area or an at-grade courtyard.

D. Pedestrian Oriented Spaces

1. Mixed-use areas shall emphasize pedestrian orientation by incorporating features such as plazas, interior walkways, outdoor courtyards, outdoor seating areas, fountains, outdoor street furniture and other similar elements.

2. Outdoor Spaces

A variety of outdoor spaces shall be provided, including patios, courtyards, plazas and other landscaped open spaces, which shall be proportionate in size to the development.

a. Courtyards:

(1) An outdoor covered or uncovered area easily accessible to the public at the same level as the public sidewalk or pedestrian connections which should:

Be at least 8 feet in width, with a building façade on at least one side; and minimum area of 100 SF.

Be landscaped with groundcover, shrubs, trees or other landscaping over 25% of its area.

The design should include seating, special paving material, pedestrian-scale lighting and other pedestrian furnishings;

b. *Plazas, Squares and other open spaces*

Public plazas and other gathering areas shall be provided to encourage community activity in open spaces, particularly at the edges that relate to building openings, natural features, or activities. Public plazas and gathering areas shall be of sufficient size to encourage passive gathering activity and permit permanent/temporary seating and shall incorporate other elements as described:

(1) There shall be pedestrian linkages leading to and from the plazas to natural features and other pedestrian paths.

(2) A plaza shall have an articulated edge (buildings, benches, landscaping, etc.) where feasible to provide visual interest and additional seating along the edges of the plaza where people may linger out of the pedestrian traffic flow.

(3) Amenities shall be provided such as seating, lighting, plants, drinking fountains, distinctive paving, art work, bicycle racks or structures (either open or covered); and such focal points as a sculpture or water feature.

a) Plaza Amenities: -- Minimum quantity of amenities for Plazas shall include four (4) main elements of the following:

- (a) Pedestrian oriented seating;
- (b) Permanent Landscaping elements including planting beds, large potted plants and other landscaping elements that add visual interest;
- (c) Outdoor lighting element; (other than walkway lighting for safety),
- (d) Outdoor artwork or sculptures;
- (e) Outdoor fountains;
- (f) Information kiosks;
- (g) Trash Receptacles;

b) Plaza Amenities -- Additional elements that can be included above the minimum elements listed above:

- (a) Decorative clocks,
- (b) Special paving patterns/ or tree grates;
- (c) Bicycle racks;
- (d) Other amenities that meet the intent of providing high-quality, pedestrian oriented usable space.

(4) Pedestrian furniture for plazas, courtyards, walkways and other public spaces shall be made of durable, weather-resistant materials and can be reasonably maintained over an extended period of time.

(5) The quantity, type, placement and location of amenity elements shall contribute to a well-balanced mix of features that provide attractive, inviting, usable outdoor spaces.

(6) Color, form and texture are integral to the overall design of the plaza. Design of the plaza shall incorporate some soft as well as hard surface areas (landscaped and special pavement areas).

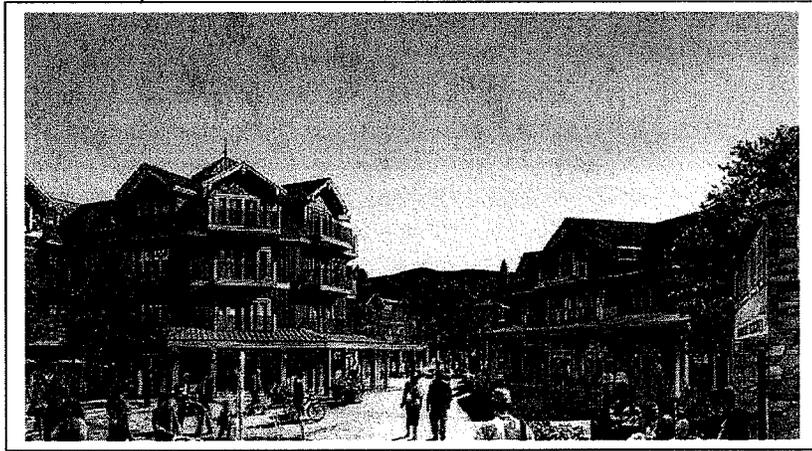


Courtyard space surrounding fountain with artwork, street furniture, trees and potted plants.

c. Configuration and Linking of Outdoor Spaces.

Where possible, smaller outdoor spaces, including courtyards and plazas shall be designed to be adjacent to another outdoor space to increase the size and usability of outdoor spaces.

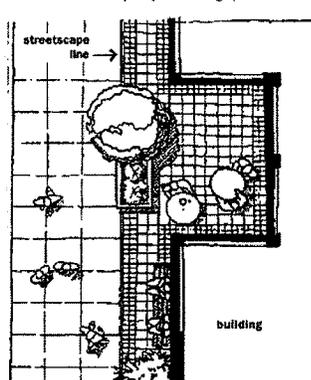
Where possible, several outdoor spaces shall be linked to help create a mini-park or usable outdoor space, complete with landscaping, planters, pedestrian oriented furnishings and other amenities. The intention is to provide both usable smaller outdoor spaces, and larger plazas that can help to provide a larger, more park-like open space or public square that can be utilized for outdoor event, gatherings or community type market.



Open area between buildings can be designed as usable outdoor space.



Small courtyard outside restaurant, separated from adjacent open space by a low wall/fountain.



Small courtyard created by narrow courtyard for dining area recessed area in building, can be created adjacent to restaurant.



Open space courtyard adjacent to storefronts with fountain, seating stones, artwork and landscaping.

d. Residential Balconies and Decks

Upper story decks, and balconies as private open space shall also be incorporated for residential use. Balconies shall be appropriately scaled and incorporated into the overall design of the building. The designer shall consider environmental conditions such as sun, shade, and prevailing winds when designing outdoor spaces including courtyards, decks, balconies other usable open spaces.

E. Dedicated Public Meeting Space

The project should provide a public meeting room of not less than 500 SF, with at least one wall with windows to the outside, within the commercial section of the project. Preferably, the room should be

located adjacent to a courtyard or other usable public outdoor spaces or plazas, so as to be easily located and accessible to the public. The property manager/owner should provide access to the room on a reservation basis, and provide custodial service for the space on a regular basis.

A restaurant or coffee shop may provide such a meeting room adjacent to a primary dining room as an amenity, and may determine rules of access and reservation of the space.

22.100.040 Vehicular Access and Parking

A. Parking Layout and Design

1. Parking should be located on the sides, to the rear of projects or below grade with pedestrian connections between the parking areas and the commercial and/or residential buildings.

2. Building siting and parking design shall maximize opportunities for pedestrian and vehicular circulation between adjacent buildings or subdistricts, such as joint access easements and common driveways. The layout shall limit the conflict between pedestrians and cars to the greatest extent possible.

B. Access Drives

Building siting and parking design shall maximize opportunities for shared parking, access entries and driveways in order to minimize the number of curb cuts. This will help to limit possible conflicts between pedestrians and vehicles entering and leaving the parking area.

C. Vehicular Entrances and Driveways

The site plan shall allow maximum of three (3) access points from Firdale Avenue to the project.

22.100.050 Site Landscaping & Screening Elements

A. General Landscaping

Site landscaping shall be designed to achieve the project vision as described in Section A. Trees and landscaping shall be incorporated into the site design in order to provide a more attractive overall pedestrian oriented environment and to soften and screen the visual impact of hard surfaces such as parking lots, service areas, walkways and gathering places. Outdoor furniture shall be compatible with the project architecture and shall be carefully considered as integral elements of the landscape.

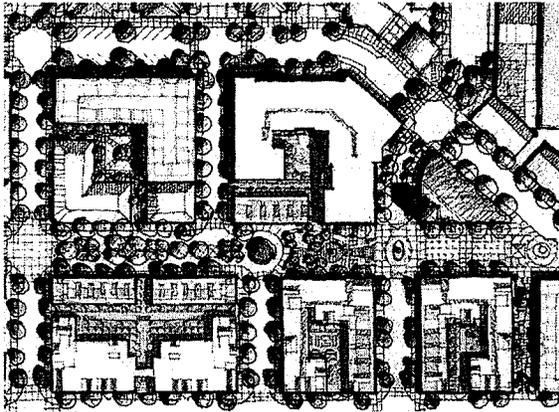


The combination of trees, planted areas, potted plants, and street furniture all work together to create an inviting, walkable environment.

1. A range of landscape materials, trees, evergreen shrubs, groundcovers and seasonal flowers shall be provided for color and visual interest.
2. Trees should be placed to allow southern sun exposure in such a manner as not to conflict with pedestrian activity areas. (For this reason trees with a fine leaf texture are also preferred in the plaza.)
3. Planters or large pots with small shrubs and seasonal flowers may also be used to separate café seating from traffic flow and create protected sub-areas within the plaza for sitting and people watching.
4. Creative use of plant materials such as climbing vines or trellises, and use of sculpture groupings, etc. are also encouraged.
5. Native and drought tolerant plants shall be used where possible. A minimum of 20% of all landscaped areas should include native drought tolerant plants.
6. Sun angle at noon and wind pattern shall be considered in the design of the open space and courtyards to maximize sunlight areas.
7. Recommended materials include: brick, concrete, unit pavers, tile, stone and wood (some seating).
8. No dumpsters or service areas shall be adjacent to open space.
9. Public restrooms should be located nearby in an accessible public space.



Various forms of landscaping, including trees, planted areas, hanging plants, trellises and uses of potted plants, site lighting, help to create an inviting and attractive ambiance within the development.



A well-designed landscape plan will help to provide walkable connections and usable open space throughout the project.

B. Landscaping – Parking Lots

1. Parking areas shall be screened from pedestrian-oriented areas through the use of trees, shrubs, walls and/or trellis structures with plants.
2. Parking lots shall provide landscaping next to buildings and along walkways. Landscape beds within parking lots shall have a 90% ground coverage in five years.
3. Parking areas shall have one tree per every 10 parking stalls.

C. Screening Elements

Intent: To minimize the negative visual impacts of service and storage elements (ie. waste receptacles, loading docks), to the street and pedestrian environment.

1. On-site Service Areas.

All on-site service areas, loading zones, outdoor storage areas, garbage collection and recycling areas shall be located in an area not visible from public streets or important pedestrian areas of the site. These areas shall be enclosed and screened around their perimeter by a wall or fence at least seven feet high. Service areas should be located and designed for easy access by service vehicles and for convenient access by each tenant.

2. Service elements shall be located and designed to minimize the impacts of the pedestrian environment and adjacent uses. Service elements should generally be concentrated and located where they are accessible to service vehicles and convenient for tenant use.

3. Roof-mounted mechanical equipment, meters and similar structures and other similar elements shall be located so as not be visible from the street, public open space, parking areas, or from the ground level of adjacent properties. Screening features shall blend with the adjacent buildings and project as a whole.

22.100.060 Signage

A. *Design Intent:*

To encourage signage that is clear, attractive and of an appropriate scale for the project.

To provide consistent design criteria for the entire project.

To enhance the visual qualities of signage through the use of complementary sizes, colors and methods of illumination.

To provide signage guidelines that meet commercial tenant needs.

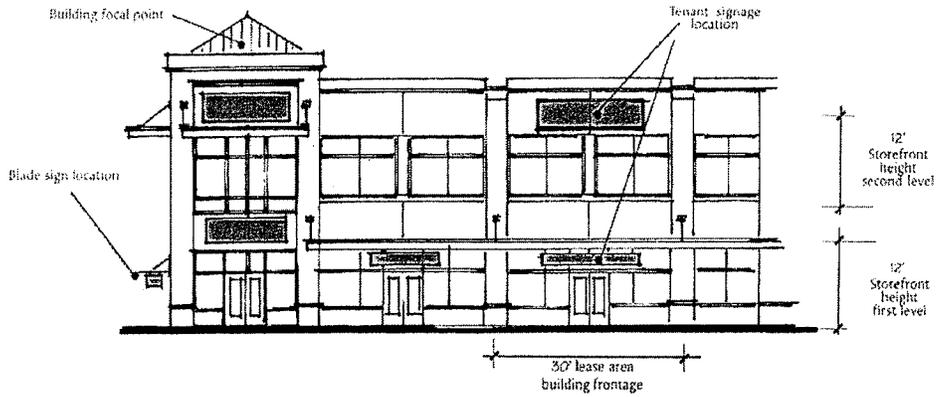
General Signage

Types of signage fall into several categories:

Tenant Signs (large and small), Site Entry Markers and Identification Signs, Wayfinding signage, and Environmental Graphic Design Elements

B. Design Standards

1. Signage must be of a high quality of design and materials, consistent with the design of the project. Signage shall be consistent throughout the project and always complement a building's character.



2. Signage shall be designed as an integral element of the building's Architecture. Wall and blade signs shall not interfere with Architectural details or disrupt the rhythm of windows.

3. Signage shall make a positive contribution to the overall visual character of the streetscape. Signs shall be appropriately sized with the scale of the building. Materials and colors used in the construction of signs shall be compatible with the overall design of the site.



Retail entry with hanging blade signs to left of entry. Storefront exhibits strong pedestrian orientation and attention to detail including: recessed entry door, glass storefront, arched element over entry door, contrasting materials of storefront, structural canopy and landscape planters in front.

4. Signs may be fabricated of mixed-media, including metal reverse-illuminated letters, suspended neon letters, illuminated individual letters, signs etched or cutout of solid materials such as wood or brass and illuminated from behind.



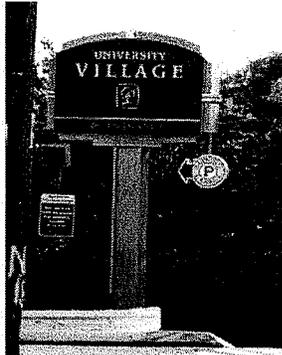
Mixed media sign above door.



Retail sign with large individual letters above canopy.

5. Internally illuminated boxes with formed or painted lettering are not permitted. Large internally illuminated boxes that serve as monument signs are not permitted.

6. Instead, larger signs of wood or other non-transparent or translucent material are allowed that have exterior sources of illumination (as opposed to internal). Monument signs constructed from plastic or plastic-like material are not allowed. However, monument signs that provide primary development identification (project name) constructed from materials such as wood, metal or other durable materials are allowed.



Monument sign on pedestal



Ground level monument sign constructed of solid materials

7. 'Way finding signage.' The project shall include a coordinated system of signs to aid in visitor orientation and navigation through the project.

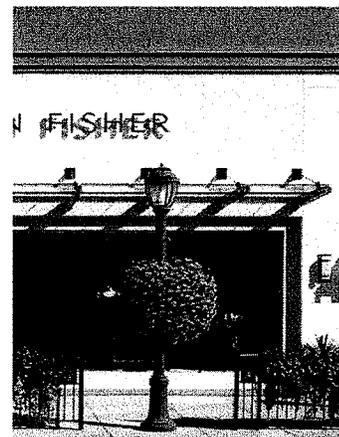
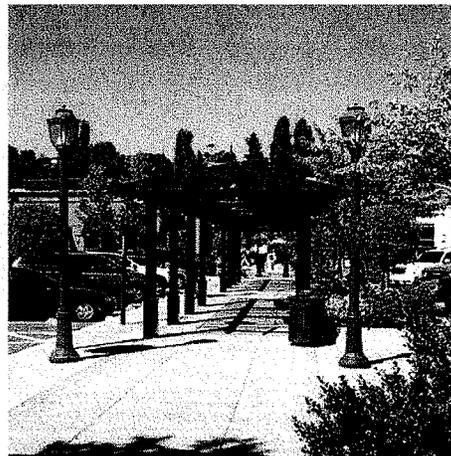


22.100.070 *Site Lighting*

A. *Objectives.*

Lighting shall be an integral part of all components of the development. Lighting shall contribute to the individuality, security and safety of the site design without having overpowering effects on the adjacent areas. Lighting is viewed as an important feature, for functional and security purposes, as well as to enhance the streetscape and public spaces.

1. The design of light fixtures and their structural support shall be integrated with the architectural theme and style of the main structures on the site, and with landscaping.
2. Pedestrian scale lighting (maximum 15' height) and/or bollard lighting shall be used to define pedestrian walkways, connections and other pedestrian areas within the development.



Decorative pedestrian scale lighting along walkway

*Light fixture with hanging plants in
near parking lots, front of storefront.*

3. Along walkways, low level lighting that directs light downward onto the ground surface is encouraged. The design of the fixtures shall be compatible with the overall design of the development, and shatterproof lamp coverings will be used. The fixtures will be placed to minimize glare and shall be located as to not present hazards for pedestrians or vehicles.
4. All lighting shall be shielded from the sky and adjacent properties and structures, either through exterior shields or through optics within the fixture. Light shall not spill out onto surrounding properties or project above the horizontal plan. Warm lighting colors are encouraged.
5. Within parking lots, a minimum foot candle of (1.0) at the perimeter of light sources and between light sources, and 5.0 under light fixtures is recommended. Light shall not exceed 0.5 foot candles at any property line.
6. Wall mounted lights shall be directed downward. Soffit mounted light fixtures shall be recessed in the soffit or otherwise fully shielded from any property line. Ground mounted or other upward directional lighting will be permitted only where some form of shielding or light baffling is provided to create a soft, uniform light quality and minimize light spillage beyond the wall or sign being illuminated.

22.100.080 *Safety Issues*

A. *Intent:*

Visitors and residents should find that the development provides the best possible design to protect their personal safety and safety of their property. The development shall consider safety issues in all aspects of design, with particular focus on safety of pedestrians within the development as well as links to transit and outside access to the development.

B. *Standards:*

1. Architectural features should be used to provide weather protection and shade, well as highlight building features and entries.
2. Landscaping and lighting shall be used to identify entrances, pathways, public spaces and bus stops.
3. Lighting shall contribute to the overall safety of the development, and landscaping should incorporate safe-by-design standards.
4. Covered bus stops and waiting areas shall be included to provide pedestrians with outdoor areas sheltered from extreme weather conditions.



22.100.90 *Sustainable Design*

A. *Incentive.*

In exchange for allowing four-story buildings for the multi-residential portion of the project, the development would be required to meet the requirements for at least a 4-star rating of the Built Green of Washington program, or the LEED Gold Standard, with integration of sustainable design methods and technologies throughout the project.

If the project does not include four-story buildings in the multi-family sub-district, then the project must meet the requirement for at least a 3-star rating of the Built Green of Washington program. Particular focus will be given to low-impact site design strategies, water efficiency and energy efficiency methodologies.

B. *Design Goals for Project*

Incorporate goals for integration of sustainability at earliest stages of design process possible. Decide on projected levels of achievement for

the project – For example: The project will achieve at least a 4-star level of the Built Green of Washington program

1. *Site Design and Water Use*

The proposed development will integrate low impact development techniques where reasonably feasible. For the purposes of this section, low impact development techniques shall include, but shall not be limited to, the following: the use of bio swales, green roofs, and grasscrete.

"Reasonably feasible" shall be determined based upon the physical characteristics of the property and its suitability for the technique; cost alone shall not render the use of low impact techniques unreasonable or unfeasible.

Additional techniques for strong consideration:

Rainwater harvesting – for use in site irrigation and possibly toilet flushing for commercial uses.

Utilization of water efficient fixtures throughout the project.

2. *Energy Resources*

Increase efficiency by maximizing equipment efficiency and using control strategies. Design to reduce energy and electricity consumption and eliminate unnecessary demand. Include use of alternative energy resources wherever possible.

3. *Material Resources*

Plan for long term use by designing for adaptability, specifying durable materials and considering energy and maintenance needs. elect resource efficient and recycled materials where possible, that minimize environmental impact.

Utilize wood from sustainable sources.

Encourage recycling of waste with easy access recycling stations and pick-up areas.

Manage construction demolition and waste with a jobsite recycling plan.

4. *Health and Indoor Air Quality*

Utilize multiple strategies to limit emissions from materials. Select low VOC and non-toxic materials, paints and finishes. Pay special attention to residential units in selection of finishes and paints for low or no toxicity.



Sustainable stormwater mitigation and site drainage system



Possible use of green roofs and other innovative technologies.

Definitions

This section will provide clarification of some of the specific terminology used within the guidelines.

Courtyard:

A landscaped space enclosed on at least three sides by a structure(s).

Curb Cut:

A depression in the curb for the purpose of accommodating a driveway that provides vehicular access between private property and the street (or ADA/bike crossing at street corners).

Façade:

Any vertical exterior wall of a building.

Frontage:

Refers to the length of property along a public street or right-of-way.

Landscaping:

An area is considered to be landscaped if it is:

Planted with vegetation in the form of hardy trees, shrubs, or Grass or evergreen groundcover maintained in good condition; or occupied by sculpture, fountains, pools, benches, or other Outdoor furnishings; or Occupied by recreational facilities; or Paved with decorative pavers, brick combined with any of the above items.

Modulation:

As used in the Design Guidelines, modulation is a stepping back, or projecting forward of portions of a building face within specified intervals of building width and depth, as a means of breaking up the apparent bulk of a structure's continuous exterior walls.

Pedestrian-Oriented Façade:

A building façade is considered "pedestrian-oriented" if it features any of the following characteristics:

A transparent window along at least 75 percent of the ground floor between the height of two feet and eight feet above the ground.

Frontage along a pedestrian-oriented space.

Pedestrian-Oriented Space:

An area between a building and a public space that promotes visual and pedestrian access to the site and provides pedestrian oriented amenities and landscaping to enhance the public's use of the space for passive activities such as sitting, reading, picnicking, etc.

A "pedestrian-oriented" space must have:

Visual and pedestrian access into the site from the public right of way;

Paved walking surfaces of either concrete or approved unit paving;

On-site or building-mounted lighting;

Seating comprised of at two feet of seating area (bench, ledge, etc.), or one individual seat per 60 SF of plaza area or open space.

A "pedestrian-oriented" space is encouraged to have: Site furniture, amenities such as fountains, kiosk, artwork, and landscaping that does not act as a visual barrier.

Human Scale:

The perceived size of a building relative to a human being. A building is considered to have "good human scale" if there is an expression of human activity or use that indicates the building's size. For example, traditionally sized doors, windows, and balconies are elements that respond to the size of the human body, and therefore are elements in a building that indicate a building's overall size.

Vertical Articulation:

Visual division of a building's façade into distinct sections or elements to reduce the apparent horizontal length of the façade.

Affidavit of Publication

STATE OF WASHINGTON,
COUNTY OF SNOHOMISH

} S.S.



SUMMARY OF ORDINANCE NO. 3760
of the City of Edmonds, Washington

On the 27th day of October, 2009, the City Council of the City of Edmonds, passed Ordinance No. 3760. A summary of the content of said ordinance, consisting of the title, provides as follows:
AN ORDINANCE OF THE CITY OF EDMONDS, WASHINGTON, AMENDING THE EDMONDS COMMUNITY DEVELOPMENT CODE TO ADD A NEW CHAPTER 16.100 FIRDALE VILLAGE MIXED USE ZONING CRITERIA, A NEW CHAPTER 22.100 FIRDALE VILLAGE SITE DESIGN STANDARDS, AND FIXING A TIME WHEN THE SAME SHALL BECOME EFFECTIVE.

The full text of this Ordinance will be mailed upon request.

DATED this 28th day of October, 2009.

CITY CLERK, SANDRA S. CHASE

Published: November 3, 2009.

The undersigned, being first duly sworn on oath deposes and says that she is Principal Clerk of THE HERALD, a daily newspaper printed and published in the City of Everett, County of Snohomish, and State of Washington; that said newspaper is a newspaper of general circulation in said County and State; that said newspaper has been approved as a legal newspaper by order of the Superior Court of Snohomish County and that the notice

Summary of Ordinance NO. 3760

Amending the Edmonds Community Development Code

a printed copy of which is hereunto attached, was published in said newspaper proper and not in supplement form, in the regular and entire edition of said paper on the following days and times, namely:

November 03, 2009

and that said newspaper was regularly distributed to its subscribers during all of said period.

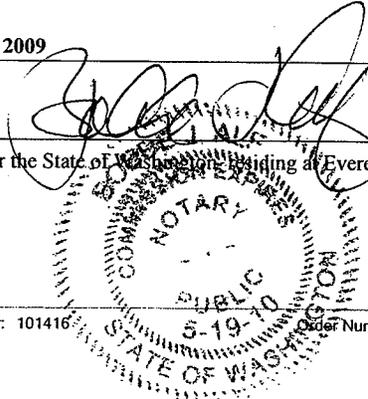
Principal Clerk

Subscribed and sworn to before me this

3rd

day of November, 2009

Notary Public in and for the State of Washington, Residing at Everett, Snohomish County.



RECEIVED

NOV 10 2009

EDMONDS CITY CLERK