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ORDINANCE NO. 3697

AN ORDINANCE OF THE CITY OF EDMONDS, WASHINGTON, AMENDING THE PROVISIONS OF ECDC CHAPTER 16.43 TO ADD A NEW SECTION 16.43.035 DESIGN STANDARDS - BD-1 ZONE, ADDING A NEW CHAPTER 22.43 DESIGN STANDARDS FOR THE BD-1 ZONE, AND FIXING A TIME WHEN THE SAME SHALL BECOME EFFECTIVE.

WHEREAS, the downtown business zones are central to the economic and cultural welfare of the City, and

WHEREAS, the Planning Board has recommended adoption of certain design standards, and

WHEREAS, following public hearing, the City Council believes that the adoption of the design standards is consistent with the goals and objectives of the Comprehensive Plan and in the public interest, and

WHEREAS, such standards shall apply only to the BD1 zone, NOW, THEREFORE,

THE CITY COUNCIL OF THE CITY OF EDMONDS, WASHINGTON, DO ORDAIN AS FOLLOWS:

Section 1. Chapter 16.43 BD-Downtown Business Zone is hereby amended by the adoption of a new section 16.43.035 Design standards - BD1 Zone to read as follows:

16.43.035 Design Standards - BD1 Zone.

Design standards for the BD1 zone are contained in ECDC 22.43.

Section 2. The Edmonds Community Development Code is hereby amended by the adoption of a new Chapter 22.43 Design Standards for the BD-1 Zone. The provisions of Chapter 22.43 are set forth in the attached Exhibit A, incorporated by this reference as fully as if herein set forth.

Section 3. Effective Date. This ordinance, being an exercise of a power specifically delegated to the City legislative body, is not subject to referendum, and shall take effect five (5) days after passage and publication of an approved summary thereof consisting of the title.

APPROVED:



MAYOR GARY HAAKENSON

ATTEST/AUTHENTICATED:



CITY CLERK, SANDRA S. CHASE

APPROVED AS TO FORM:
OFFICE OF THE CITY ATTORNEY:

BY 

W. SCOTT SNYDER

FILED WITH THE CITY CLERK:	09/12/2008
PASSED BY THE CITY COUNCIL:	09/16/2008
PUBLISHED:	09/23/2008
EFFECTIVE DATE:	09/28/2008
ORDINANCE NO. <u>3697</u>	

SUMMARY OF ORDINANCE NO. 3697

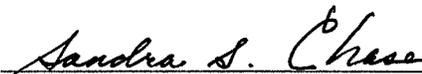
of the City of Edmonds, Washington

On the 16th day of September, 2008, the City Council of the City of Edmonds, passed Ordinance No. 3697. A summary of the content of said ordinance, consisting of the title, provides as follows:

AN ORDINANCE OF THE CITY OF EDMONDS, WASHINGTON, AMENDING THE PROVISIONS OF ECDC CHAPTER 16.43 TO ADD A NEW SECTION 16.43.035 DESIGN STANDARDS - BD-1 ZONE, ADDING A NEW CHAPTER 22.43 DESIGN STANDARDS FOR THE BD-1 ZONE, AND FIXING A TIME WHEN THE SAME SHALL BECOME EFFECTIVE.

The full text of this Ordinance will be mailed upon request.

DATED this 17th day of September, 2008.


CITY CLERK, SANDRA S. CHASE

Title 22

Design Standards

Chapters:

22.43 Design Standards for the BD1 Zone

Chapter 22.43

Design Standards for the BD1 Zone

Sections:

- 22.43.000 Applicability
- 22.43.010 Massing and Articulation
- 22.43.020 Orientation to Street
- 22.43.030 Ground Level Details
- 22.43.040 Awnings/Canopies and Signage
- 22.43.050 Transparency at Street Level
- 22.43.060 Treating Blank Walls
- 22.43.070 Building HVAC Equipment

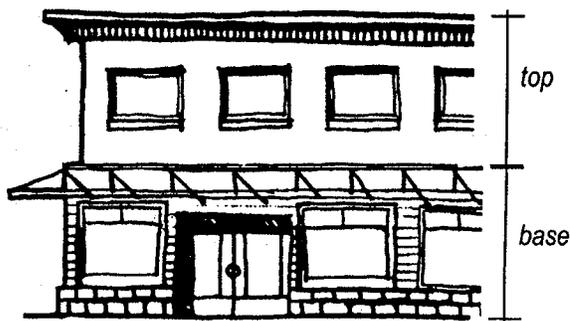
22.43.000 Applicability. The design standards in this chapter apply to all development within the BD1 – Downtown Retail Core zone.

22.43.010 Massing and Articulation

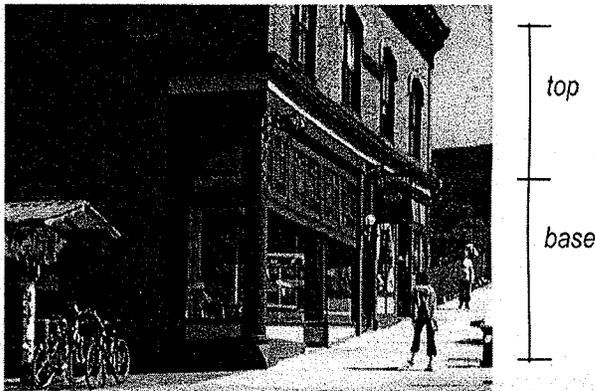
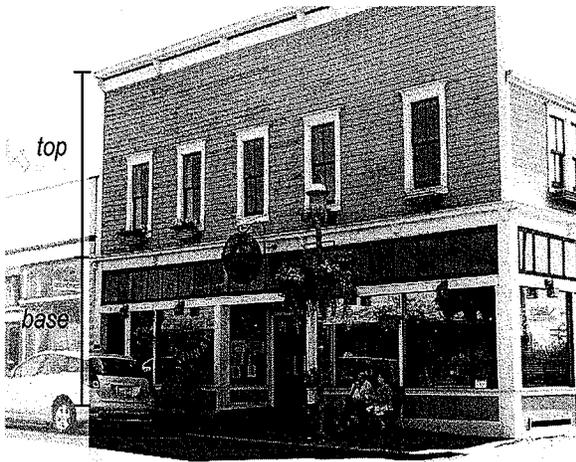
A. Intent. To reduce the massiveness and bulk of large box-like buildings, and articulate the building form to a pedestrian scale.

B. Standards.

1. Buildings shall convey a visually distinct ‘base’ and ‘top’. A ‘base’ can be emphasized by a different masonry pattern, more architectural detail, visible ‘plinth’ above which the wall rises, storefront, canopies, or a combination. The top edge is highlighted by a prominent cornice, projecting parapet or other architectural element that creates a shadow line.



Buildings should convey a distinct base and top.



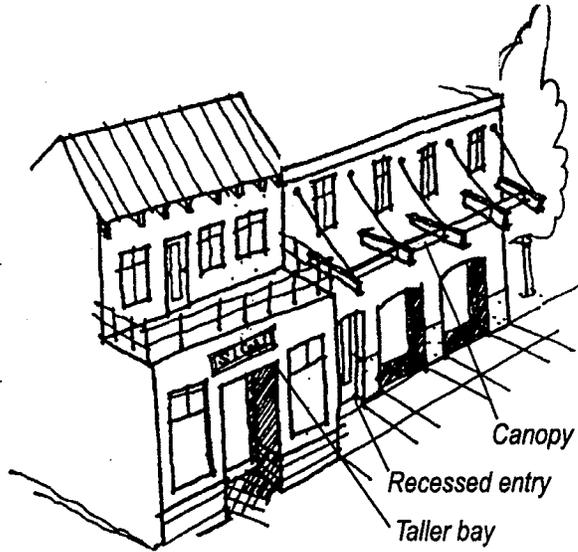
The base can be emphasized by a different material.

22.43.020 Orientation to Street

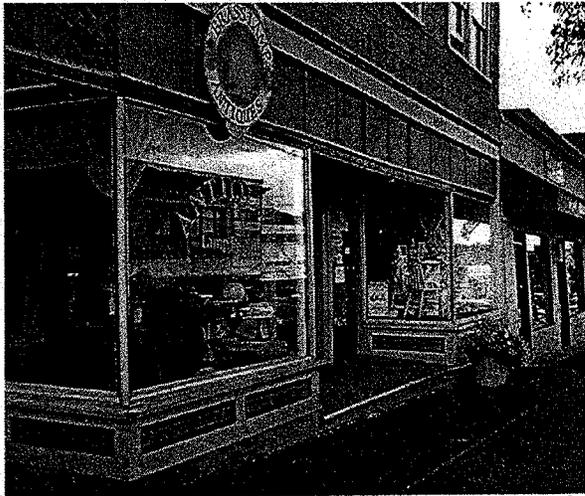
A. Intent. To reinforce pedestrian activity and orientation and enhance the liveliness of the street through building design.

B. Standards.

1. Buildings shall be oriented to the adjacent street, rather than to a parking lot.
2. Entrances to buildings shall be visible from the street and accessible from the adjacent sidewalk.
3. Entrances shall be given a visually distinct architectural expression by one or more of the following elements:
 - a. Higher bay(s)
 - b. Recessed entry (recessed at least 3 feet)
 - c. Forecourt and entrance plaza.



Buildings shall be oriented to the street.



Entrances shall be given visually distinct expression.

22.43.030 Ground Level Details

A. Intent. To reinforce the character of the streetscape by encouraging the greatest amount of visual interest along the ground level of buildings facing pedestrian streets.

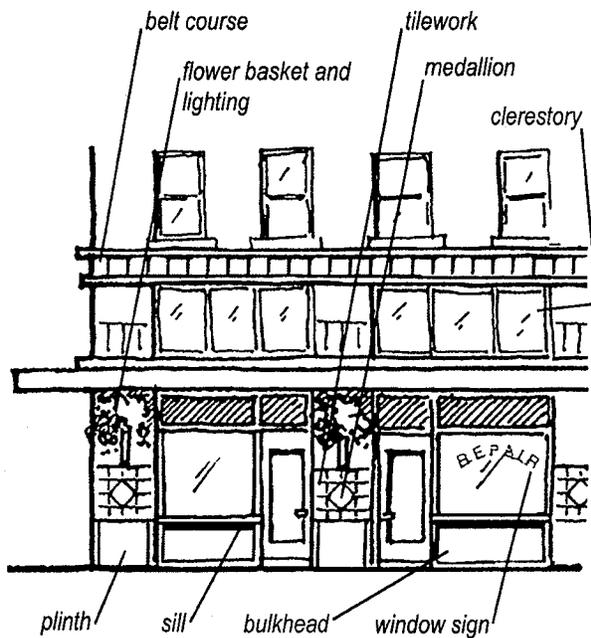
B. Standards.

1. Ground-floor, street-facing façades of commercial and mixed-use buildings shall incorporate at least five of the following elements.

a. Lighting or hanging baskets supported by ornamental brackets

- b. Medallions
- c. Belt courses
- d. Plinths for columns
- e. Bulkhead for storefront window
- f. Projecting sills
- g. Tilework
- h. Transom or clerestory windows
- i. Planter box
- j. An element not listed here, as approved, that meets the intent.

2. Ground floor commercial space is intended to be at grade with the sidewalk, as provided for in ECDC 16.43.030.





Ground floor details encourage visual interest along the ground level of buildings facing pedestrian streets.

22.43.040 Awnings/Canopies and Signage

A. Intent.

1. To integrate signage and weather protection with building design to enhance business visibility and the public streetscape.
2. To provide clear signage to identify each business or property, and to improve way-finding for visitors.
3. To protect the streetscape from becoming cluttered, and to minimize distraction from overuse of advertisement elements.

B. Standards.

1. Structural canopies are encouraged along pedestrian street fronts. If a canopy is not provided, then an awning shall be provided which is attached to the building using a metal or other framework.
2. Awnings and canopies shall be open-sided to enhance visibility of business signage. Front valances are permitted. Signage is allowed on valances, but not on valance returns.
3. Marquee, box, or convex awning or canopy shapes are not permitted.
4. Retractable awnings are encouraged.
5. Awnings or canopies shall be located within the building elements that frame storefronts, and should not conceal important architectural details. Awnings or canopies should be hung just below a clerestory or “transom” window, if it exists.
6. Awnings or canopies on a multiple-storefront building should be consistent in character, scale and position, but need not be identical.



Open-sided non-structural awning with front valance.



Open-sided structural canopy.

7. Non-structural awnings should be constructed using canvas or fire-resistant acrylic materials. Shiny, high-gloss materials are not appropriate; therefore, vinyl or plastic awning materials are not permitted.

8. Signage should be designed to integrate with the building and street front. Combinations of sign types are encouraged which result in a coordinated design while minimizing the size of individual signs.

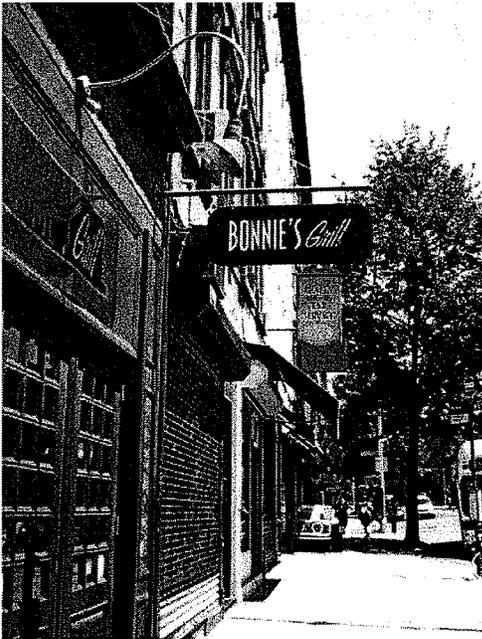
9. Blade or projecting signs which include decorative frames, brackets or other design elements are encouraged. This type of detail can be used to satisfy one of the required elements under the section 'Ground Level Details.'

10. Use graphics or symbols to reduce the need to have large expanses of lettering.

11. Instead of broadly lighting the face of the sign, signage should be indirectly lit, or backlit to only display lettering and symbols or graphic design.

12. Signage should be given special consideration when it is consistent with or contributes to the historic character of sites on the National Register, the Edmonds Register of Historic Places, or on a City Council-approved historic survey.

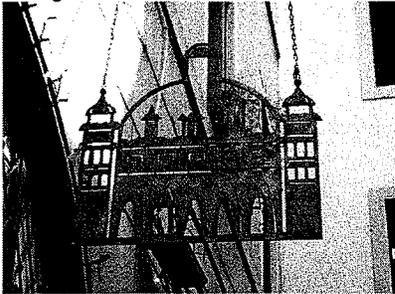
13. Signage shall include decorative frames, brackets or other design elements. An historic sign may be used to meet this standard.



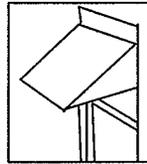
Retractable and open-sided awnings allow signage to be visible.



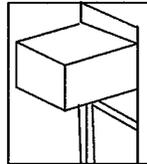
Examples of projecting signs using decorative frames and design elements.



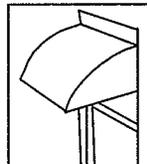
*Awning or
Canopy
Shapes:*



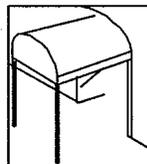
Standard



Box



Convex



Marquee

22.43.050 Transparency at Street Level

A. Intent. To provide visual connection between activities inside and outside the building.

B. Standards.

1. The ground level façades of buildings that are oriented to streets shall have transparent windows with a minimum of 75% transparency between an average of 2 feet and 10 feet above grade.

2. To qualify as transparent, windows shall not be mirrored or darkly tinted glass, or prohibit visibility between the street and interior.

3. Where transparency is not provided, the façade shall comply with the standards under the section 'Treating Blank Walls'.



Ground level facades of buildings should have transparent windows between 2 to 10 feet above grade.



Windows shall provide a visual connection between activities inside and outside the building, and therefore should not be mirrored or use darkly tinted glass.

22.43.060 Treating Blank Walls

A. Intent.

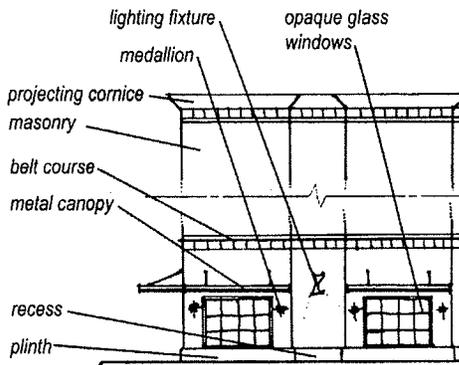
To ensure that buildings do not display blank, unattractive walls to the abutting street.

B. Standards.

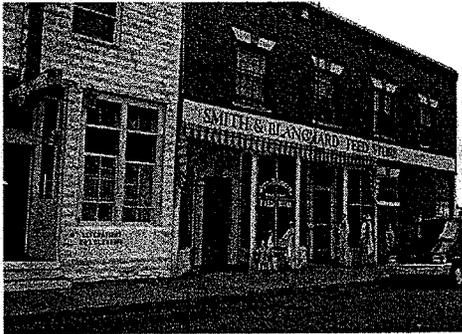
1. Walls or portions of walls on abutting streets or visible from residential areas where windows are not provided shall have architectural treatment (see standards under section 'Transparency'). At least four of the following elements shall be incorporated into any ground floor, street-facing façade:

- a. Masonry (except for flat, non-decorative concrete block)
- b. Concrete or masonry plinth at the base of the wall
- c. Belt courses of a different texture and color

- d. Projecting cornice
- e. Decorative tilework
- f. Medallions
- g. Opaque or translucent glass
- h. Artwork or wall graphics
- i. Lighting fixtures
- j. An architectural element not listed above, as approved, that meets the intent.



Blank walls shall be treated with architectural elements to provide visual interest.



Buildings shall not display blank, unattractive walls to the abutting street.

22.43.070 Building HVAC Equipment

A. Intent. To ensure that HVAC equipment, elevators, and other building utility features are designed to be a part of the overall building design and do not detract from the streetscape.

B. Standards:

1. Rooftop HVAC equipment, elevators and other rooftop features shall be designed to fit in with the materials and colors of the overall building design. These features shall be located away from the building edges to avoid their being seen from the street below.

If these features can be seen from the adjoining street, building design shall use screening, decoration, plantings (e.g. rooftop gardens), or other techniques to integrate these features with the design of the building.

2. When HVAC equipment is placed at ground level, it shall be integrated into building design and/or use screening techniques to avoid both visual and noise impacts on adjoining properties.



Rooftop equipment should be screened from view.

Affidavit of Publication

STATE OF WASHINGTON,
COUNTY OF SNOHOMISH

} S.S.

The undersigned, being first duly sworn on oath deposes and says that she is Principal Clerk of THE HERALD, a daily newspaper printed and published in the City of Everett, County of Snohomish, and State of Washington; that said newspaper is a newspaper of general circulation in said County and State; that said newspaper has been approved as a legal newspaper by order of the Superior Court of Snohomish County and that the notice

SUMMARY OF ORDINANCE NO. 3697
of the City of Edmonds, Washington

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DATED this 17th day of September, 2008.
CITY CLERK, SANDRA S. CHASE
Published: September 23, 2008.

Summary of Ordinance No. 3697

Amending the Provisions of ECDC Ch. 16.43

a printed copy of which is hereunto attached, was published in said newspaper proper and not in supplement form, in the regular and entire edition of said paper on the following days and times, namely:

September 23, 2008

and that said newspaper was regularly distributed to its subscribers during all of said period.

S. H. Garrison

Principal Clerk

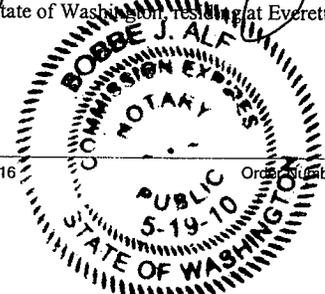
Subscribed and sworn to before me this

23rd

day of September, 2008

John Alf

Notary Public in and for the State of Washington, residing at Everett, Snohomish County.



RECEIVED

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EDMONDS CITY CLERK